

# BNAS Reuse Master Plan Property Condition Assessment

Bldg. No. **81**

Name: **CHRIMP FACILITY**

## GENERAL INFORMATION

Type Code per IBC - **2B – Non-combustible  
Unprotected**

Property Number: **201058**  
Facility ID: **NFA100000979088**  
Category Code: **44110**

Current Use: **HANDLING EQUIP. STORAGE  
INERT STOREHOUSE**

Year Built: **1980**

Date acquired by Government (M/D/Y): **8/4/1980**

Government Cost: **\$98,141**

Approximate (L)ength x (W)idth x (H)eight:  
**175' X 40' X 19'**

Approximate Area (SF): **7,000 S.F.**

Location:  
(Northing):  
(Easting):

## ARCHITECTURAL

Current building use: **HazMat Management Facility**

**Program:**  
work bay, Office workspace, Interior block "pillbox"

**Foundation:**  
Exterior walls and floor slabs supported on frost walls with strip footings, Concrete floor slab on grade, Good condition.

**Exterior Building Walls:**  
Metal siding, Metal girts spanning between rigid frames, Batt insulation, Interior plywood sheathing to 8' above finished floor, Good condition.

**Exterior Building Roof:**  
Metal roofing, Metal girts spanning between rigid frames, Batt insulation, Double pitch roof with center ridge, no gutters, Good condition.

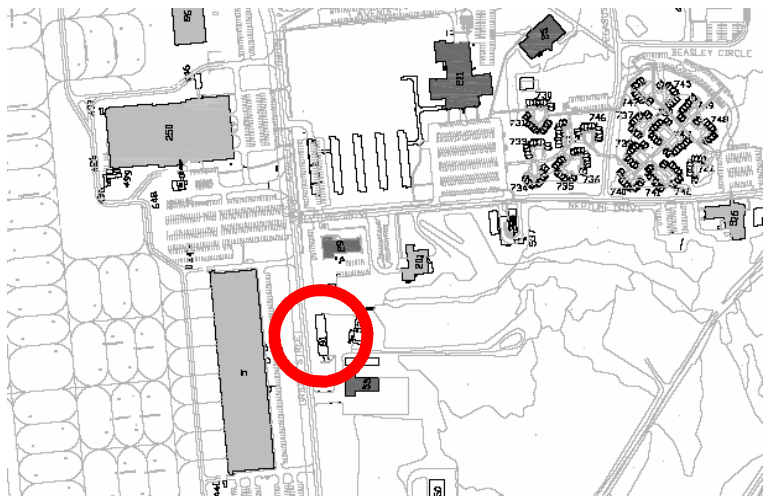
**Exterior Building Windows and Doors:**  
Hollow metal frames and doors throughout exterior Operable metal windows, Double glazed window construction, Metal roll up garage doors, Good condition.

**Exterior Building Trim:**  
Brake formed Metal flashings at roof, wall penetrations, Larger than normal base flashing at wall Foundation setback at base of wall, Good condition.

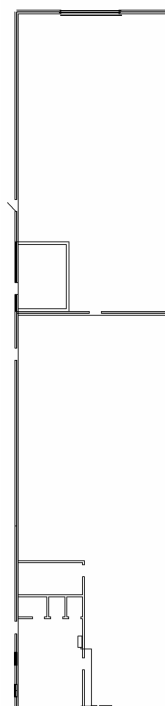
**Interior Building Floors:**  
Slab on grade concrete floors, Unfinished concrete floors, Good condition.



South Elevation



Key Plan



Floor Plan

**Interior Building Walls:**

Block walls and span-deck roof at interior "pillbox",  
Hollow metal interior doors and frames, Good  
condition.

**Interior Building Ceilings:**

Exposed structure

**ACCESSIBILITY**

Building is one floor with no level changes  
Ramps into and inside building do not meet  
accessibility codes.  
Door swings and widths appear to be acceptable.  
Accessible door hardware needed.  
Some access problems at thresholds.

**STRUCTURE**

**Foundation Type:** Cast-in-place Concrete Frost  
Walls – Good Condition.

**Exterior Wall Structure Framing Type:** Vertical  
Metal Panels – Good Condition.

**Roof Structure Framing Type:** Metal Z-purlins and  
metal decking – Good Condition.

**Floor Structure:** Cast-in-place Concrete Slab on  
Grade – Good Condition.

**Interior Wall Construction Type:** N/A

**Lateral Force Resisting System:** American Building  
Prefabricated Metal Building: Rigid Gable Frame –  
Good Condition.

**Electrical**

300A 120/208V 3PH service assumed in good  
condition.

Emergency lighting is in fair condition.

Interior lighting is hip low bay fluorescent lighting and  
in good condition.

**HVAC**

Two natural gas H.B. Smith cast iron boilers with hot  
water distribution system in good condition.

Heating system consists of unit heaters in good  
condition.

Aboveground fuel oil storage tank in fair condition,  
but not used.

Fuel storage: Natural Gas metered supply on  
building.

**Plumbing**

Domestic water service location was not determined  
or observed.

Instantaneous water heater for lavatories in fair  
condition.



West Elevation



East Elevation

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Plumbing fixtures are in fair condition.

### **Fire Alarm System**

Zoned notifier fire alarm system with King Fisher Radio Transmitter. System is in fair condition.

### **Sprinkler System**

Wet pipe sprinkler system and AFFF system is in good condition.

Fire extinguishers are present

### **SITE**

Building mounted "wall-pack" style lighting on exterior walls and entrance points. Some ambient light expected from nearby street lighting.

Foundation plantings minimal. lawn. Poor condition.

Exterior drainage system appears to drain to catch basin system. Good condition.

Parking lot good condition. Sidewalks. Fair cond.

Above ground fuel tank, double walled.

### **Misc**

Telecom system. Good condition.

### **NOTED DEFICIENCIES**

Ramps into and inside building do not meet accessibility codes.

Accessible door hardware needed.

Some access problems at thresholds.

Back half of building un-insulated

### **Excerpts from AIS report:**

PRIME AND PAINT WALLS AND FLOORS, 7230 SQUARE FEET, due to being: Moderately Worn

REPLACE FLUSH METAL DOOR WITH HARDWARE, UP TO 4' x 7'. PAINT TO MATCH., 8 EACH, due to being: Moderately Weathered



West Elevation